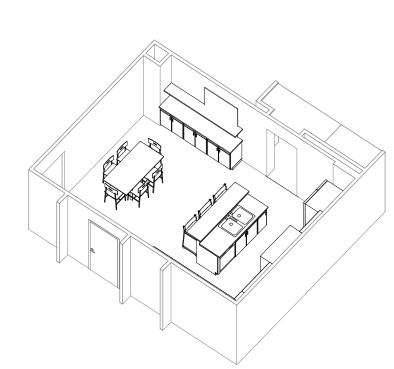
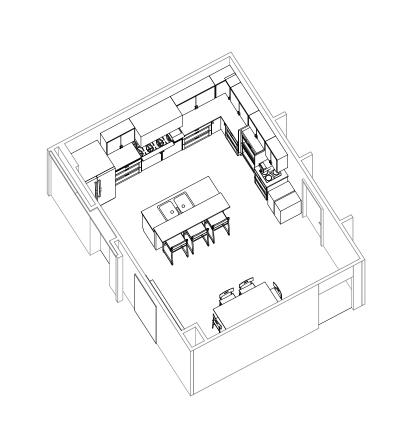
### KITCHEN RENOVATION - FT. MITCHELL FIRE DEPT. PCA

ARCHITECTURE

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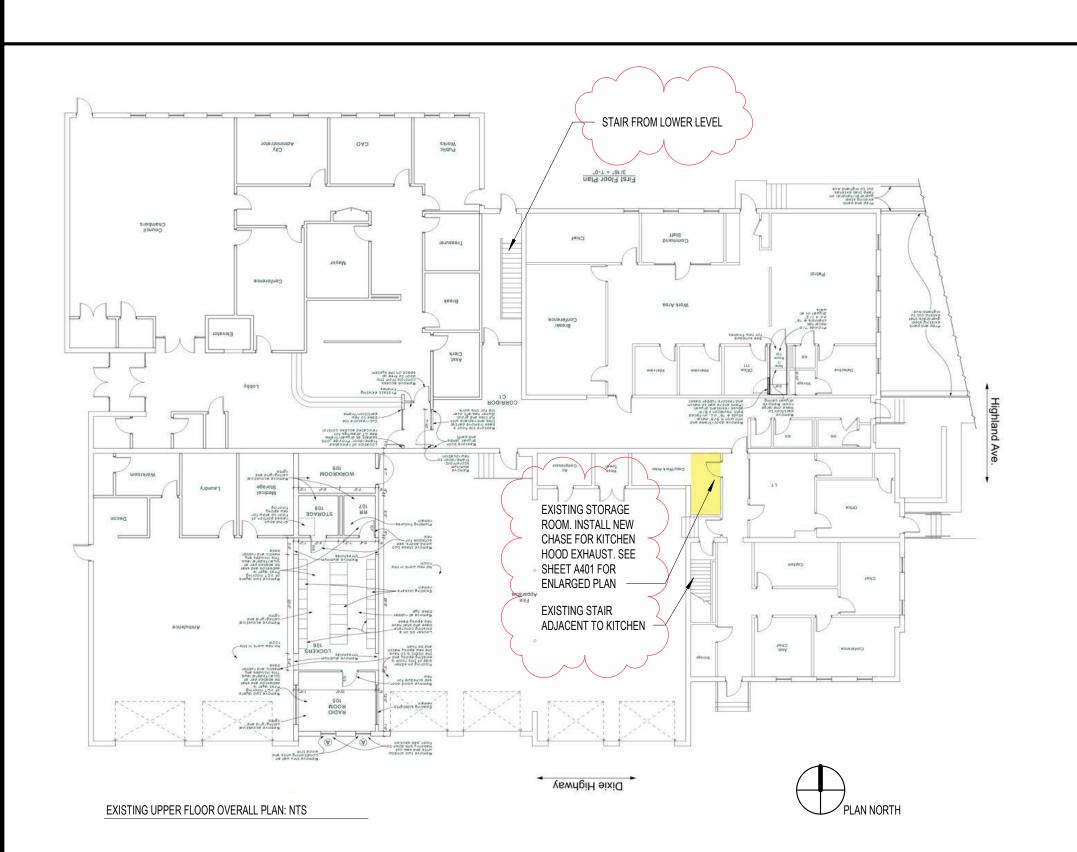


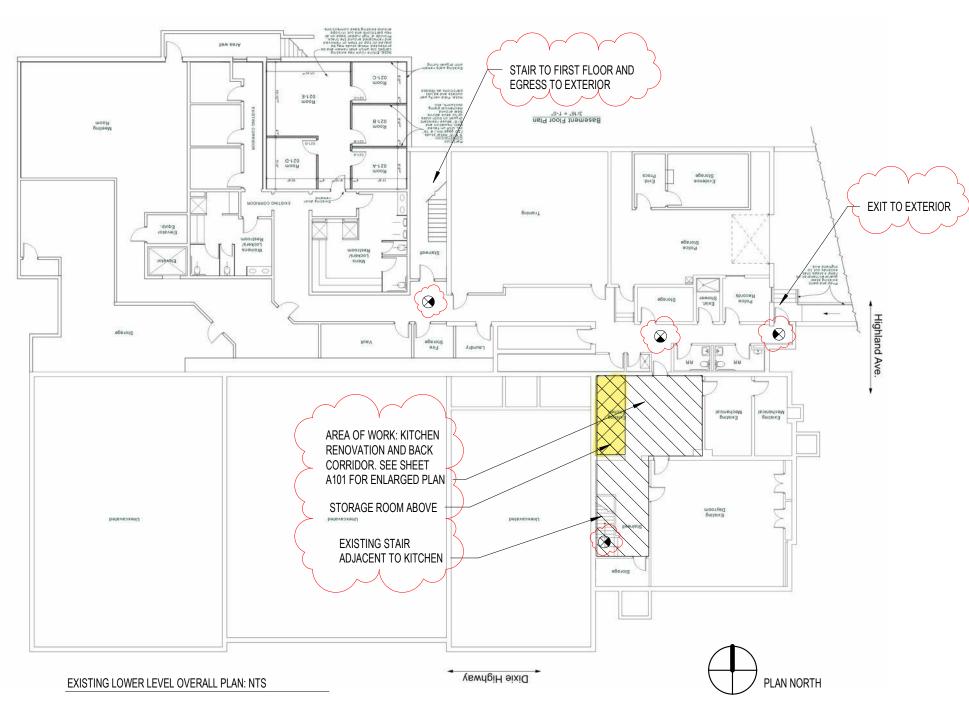
	DRAWING LIST
Sheet Number	Sheet Name
GENERAL	
G000	COVER SHEET
G001	SPECIFICATIONS
DEMOLITION	
D100	DEMOLITION PLAN
ARCHITECTURAL	
A101	FIRST FLOOR PLAN
A401	LOWER LEVEL RCP AND ENLARGED UPPER
	FLOOR PLAN

- . Area and dimensions: It shall be the responsibility of the contractor(s) to verify all area takeoffs and dimensions by making their own field measurements before starting work or ordering materials. B. The Contractor shall obtain and pay for all required permits, arrange for all required inspections, temporary
- All work shall conform to the current building code, and all applicable laws, rules, regulations and ordinances or governing authorities. In case of conflict the most restrictive shall not limit their applicability 5. All dimensions are to face of stud/cmu/concrete unless noted otherwise. 6. If there is a conflict on the drawings the most stringent/ expensive/ greatest quantity shall apply.

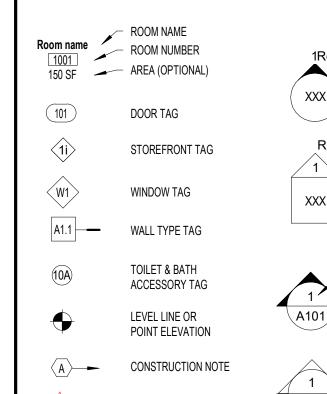
telephone, temporary water, temporary electrical service, and trash removal.

- TYPE OF CONSTRUCTION: 2B USE GROUP: B BUSINESS BUILDING FULLY EQUIPPED WITH FIRE SUPPRESSION
- NOTE TO REVIEWER: No changes are being made to the use group classification or building height/ area at this time. NO FIRE RATED CONSTRUCTION IS BEING REMOVED. THE IS NO NEW FIRE CONSTRUCTION BEING ADDED IN THIS





### **ABBREVIATIONS** SYMBOL LEGEND



**REVISION TAG** 

1Ref XXX	- ELEVATION NUMBER - SHEET NUMBER
Ref	EXTERIOR ELEVATION MARKER
	- ELEVATION NUMBER - SHEET NUMBER
XXX	
	BUILDING SECTION MARKER
1 SIM A101	- ELEVATION NUMBER
	- SHEET NUMBER
	WALL SECTION MARKER
1 SIM	- ELEVATION NUMBER

INTERIOR ELEVATION MARKER

AFF	ALIGN FINISH FACE
A.F.F.	ABOVE FINISH FLOOR
C.L.	CENTERLINE
CLG.	CEILING
C.J.	CONTROL JOINT
E.J.	EXPANSION JOINT
EQ.	EQUAL
FE	FIRE EXTINGUISHER MOUNTED
	W/ WALL BRACKET
FEC	FIRE EXTINGUISHER IN CABINET
TYP.	TYPICAL
O.C.	ON CENTER
U.N.O.	UNLESS NOTED OTHERWISE

RKER	COVER SH

**G000** 

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DATE NO. DESCRIPTION 02/02/23 03/14/2023 **REVISION SET 1** 3/20/2023 **REVISION SET 2** 3/21/2023 BID SET

HEET

22-110

### **GENERAL PROJECT NOTES**

### DIVISION 01 – GENERAL REQUIREMENTS

### 013000 - ADMINISTRATIVE REQUIREMENTS

001 Contractor shall be responsible for verification and coordination of sub-contractors work to secure compliance with the drawings and specifications. 002 Safety: In accordance with generally accepted construction practices, Contractor will be solely and completely responsible for conditions of job site, including safety of all persons and property during performance of this work. This requirement will apply continuously and not be limited to normal working

003 Per Document AlA A201, Sections 3.12.6 and 3.12.8, by submitting shop drawings, product data, samples and similar submittals, the Contractor represents to the Owner and the Architect that Contractor has **reviewed** and **approved** them with the appropriate stamp and determined that the submitted items conform to the contract documents. The work shall be in accordance with approved submittals except that the Contractor shall not be relieved of responsibility for deviations from requirements of the Contract Documents by the Architect's approval of shop drawings, product data, samples or similar submittals unless the Contractor has specifically informed the Architect in writing of such deviation at the time of submittal and the Architect has given written approval to the specific deviation as a minor change in work or a change order or change directive has been issued authorizing the deviation. 004 When the contractor considers the work to be substantially complete, he/she shall submit to the Architect a comprehensive list of items to be completed or corrected prior to final payment. Failure to include an item on such list does not void any items which are required by the contract documents.

The Architect reserves the right to add any additional items to the list for the contractor to complete before final payment. The Contractor shall agree to warranty all work for a period of one year from the date of Substantial Completion. During this period of time the Contractor agrees to remedy any defects in their work and pay for any resultant damages to other work. This warranty shall apply to the work of all trades and sub-contractors.

006 The Architect shall not be responsible for the means, methods, techniques, sequences or procedures of construction selected by the Contractor. 007 It shall be the responsibility of the Owner to observe construction and verify that the work described in the Construction Documents is complied with in the event the Architect is not retained for observation services. At the time of this printing the Architect has not been retained for Construction

008 Geotechnical services shall be provided by the Owner. All additional "Special Inspections" required by the governing authorities shall be the responsibility of this contractor.

### 014000 - QUALITY REQUIREMENTS

001 The Contractor shall obtain all required permits and inspections unless indicated otherwise.

002 All work shall conform to the current building code, and all applicable laws, rules, regulations and ordinances or governing authorities. In case of conflict the most restrictive shall not limit their applicability.

003 The term "provide" when used shall mean "furnish and install" unless noted otherwise.

004 Provide blocking in walls, ceilings, etc. wherever items will be attached to these surfaces. (i.e. toilet accessories, wall mounted door stops, fixtures, casework, handrails, etc.)

005 Provide firestopping between open vertical partitions and horizontal spaces above finished ceiling. Provide firestopping at all locations required by governing codes and authorities. Contact building inspector for inspection of all firestopping prior to installation of any material which will conceal the

008 The design of the fire alarm system (if required) and any fire suppression system (if required) shall be the responsibility of the Contractor. The Contractor shall size the systems per any governing codes/authorities and in accordance with good general engineering practice. All piping, wiring and ductwork shall be run concealed in finished spaces. Where necessary, the Contractor shall construct bulkheads and duct enclosures where indicated on drawings to conceal items. The Contractor shall submit drawings showing proposed ductwork runs and any bulkheads or duct enclosures that may be necessary prior to the start of construction. The Owner reserves the right to relocate any bulkheads or duct enclosures that are determined to be detrimental to the design or functioning of the interior spaces. Lower ceilings as required to install new MEP items. Coordinate lower ceilings and bulkheads with Owner/Architect.

009 If there is a conflict on the drawings the most stringent/expensive/greatest quantity shall apply. 010 No damaged, scratched, dented items/products, etc. will be accepted at final installation. All items shall be corrected at the expense of the

### 015000 - TEMPORARY FACILITIES AND CONTROLS

001 Contractor is responsible for providing any temporary water, sanitary services, electrical service, heating and trash removal as needed to complete

003 Fumes and dust shall be controlled so as to prevent any harmful or undesirable effects in the surrounding area.

016000 – PRODUCT REQUIREMENTS

Deliver, store and handle products using means and methods that will prevent damage, deterioration and loss, including theft and vandalism.

001 Provide products that comply with the Contract Documents, are undamaged and unless otherwise indicated, are new at time of installation. 002 Provide products complete with accessories, trim, finish, fasteners and other items needed for a complete installation and indicated use and effect.

### Comply with manufacturer's written instructions.

017000 - EXECUTION AND CLOSEOUT REQUIREMENTS 001 Upon completion of the work and before acceptance by the Owner/Architect, thoroughly clean the areas affected by the work. Remove all surplus

construction material or debris resulting from the work and legally dispose of the same off site. 002 Clean all interior and exterior glass surfaces immediately prior to turning over to Owner.

Contractor.

017300 - EXECUTION O01 Shore, brace and support structural elements during cutting and patching. Do not cut and patch structural elements in a manner that could change

their load-carrying capacity or increase deflection. 002 Do not cut and patch other construction elements or components in a manner that could change their load-carrying capacity, that results in reducing their capacity to perform as intended, or that results in increased maintenance or decreased operational life or safety. 003 Do not cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not cut and patch exposed construction in a

manner that would, in the Architect's opinion, reduce the building's aesthetic qualities. Remove and replace construction that has been cut and patched in

004 Cutting: Cut in-place construction by sawing, drilling, breaking, chipping, grinding and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction.

Patching: Patch construction by filling, repairing, refinishing, closing up and similar operations following performance of other work. Patch with durable seams that are as invisible as practicable.

006 Clean project site and work areas daily, including common areas. Dispose of materials lawfully. 007 Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.

### **DIVISION 02 – EXISTING CONDITIONS**

### 022000 - ASSESSMENT

001 Commencement of work by the Contractor shall signify the acceptance of the site conditions.

002Area and dimensions: It shall be the responsibility of the Contractor(s) to verify all area takeoffs and dimensions by making their own field measurements before starting work or ordering materials.

003The Contractor shall verify at the job site, all dimensions and conditions shown on the drawings and within the Contract Documents and shall notify the Architect of any discrepancies, omissions and/or conflicts before proceeding with the project. All discrepancies shall be resolved before starting work or ordering materials.

004The Contractor shall not scale drawings, written dimensions shall govern. Large scale drawings shall govern over small scale drawings. Field verify existing conditions where no dimensions exist. 005All dimensions to new construction are to face of concrete, face of masonry, face of stud or column centerline unless noted otherwise.

Any dimension noted as 'clear' is from finished face to finished face. 006 Contractor shall verify location of all existing utilities. Take precautions as necessary to protect them. Repair all utilities damaged during construction at no cost to the Owner. 007 Field verify all existing dimensions.

### DIVISION 06 - WOOD, PLASTICS AND COMPOSITES

### 062000 - FINISH CARPENTRY

001 Provide and install a minimum of four (4) cabinet screws per cabinet. The use of drywall screws is strictly forbidden. Provide blocking as required to support cabinet. 002 Install cabinets without distortion so doors and drawers fit openings properly and are accurately aligned.

Adjust hardware to center doors and drawers in openings and to provide unencumbered operation. Complete installation of hardware and accessory items as indicated. 003 Anchor securely by screwing through corner blocks of base cabinets or other supports into underside of countertop.

004 Complete fabrication, including assembly, finishing and hardware application, to maximum extent possible before shipment to project site. Disassemble components only as necessary for shipment and installation. Where necessary for fitting at site, provide ample allowance for scribing, trimming and fitting. 005 Laminate cladding for exposed surfaces: High-pressure decorative laminate GRADE HGS. Color as selected by Owner from laminate manufacturer's matte, suede or equivalent

006 Examine substrates and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the work. Proceed with installation only after unsatisfactory conditions have been corrected.

007 Install woodwork level, plumb, true and straight. Shim as required with concealed shims. Install level and plumb (including tops) to a tolerance of 1/8 inch in 96 inches. 008 Scribe and cut woodwork to fit adjoining work, refinish cut surfaces and repair damaged finish at cuts. 009 Anchor woodwork to anchors or blocking built in or directly attached to substrates. Secure with countersunk, concealed fasteners and blind nailing as required for complete installation. Use fine finishing nails

010 Install with minimum number of joints possible, using full-length pieces (from maximum length of lumber available) to greatest extent possible. Do not use pieces less than 60 inches long, except where shorter singlelength pieces are necessary. Scarf running joints and stagger in adjacent and related members. 011 Plastic laminate cabinets shall be premium grade with face frame construction and reveal overlay door & drawer front; 1/2" reveal dimension.

012 Cabinet drawer sides and backs shall be solid-hardwood lumber, drawer bottoms shall be hardwood 013 Cabinet drawer construction: fabricate with exposed fronts fastened to subfront with mounting screws from interior of body. Join subfronts, backs, and sides with glued rabbeted joints supplemented by mechanical fasteners or glued dovetail joints. 014 Drawer slides shall comply with BHMA A156.9, Grade 1HD-100 and grade 1HD-200. Slides shall be side

### **DIVISION 09 - FINISHES**

092000 – PLASTER AND GYPSUM BOARD

Old All drywall joints shall be taped with paper tape, open mesh tape is not permitted.

002 Provide continuous metal edge (USG #801-A) at all exposed panel edges and intersection with non-gypsum surfaces. J-stop moldings are not permitted.

003 Provide gypsum board control joint at 20'-0" o.c. maximum, unless noted otherwise, in continuous wall or ceiling

004 Finish gypsum panels to levels indicated below: a.) Level 1: Ceiling plenum areas, concealed areas, and where indicated.

mounted, full extension type and be zinc-plated steel ball-bearing.

b.) Level 2: Panels that are substrate for tile c.) Level 4: All panel surfaces exposed to view

005 Water-resistant gypsum board must be used at all walls in the bathroom and within six horizontal feet of wall surfaces where the drywall can be splashed such as kitchen, sink, next to water heater and/or washer.

006 Install fiberglass reinforced concrete board behind all areas to receive tile 007 Gypsum board shall comply with ASTM C36

008 Screws in types and lengths as recommended by drywall manufacturer. No nails allowed. 009 All purpose, ready-mixed compound with reinforcing tape at seams.

010 Casing beads, corner beads, etc. shall be metal (plastic or vinyl is not permitted).

011 Steel drill screws: ASTM C 1002. 012 NO NAILS ARE PERMITTED.

013 Install gypsum board continuous behind all bulkheads and drop down ceilings.

### 093100 - THIN-SET TILING

001 Install a crack isolation membrane under subsurface of thin-set tile. Follow manufacturer's recommendations for proper installation Refer to ANSI A118.12 for additional guidelines (RedGard

b.) Interior tilework exposed to direct sunlight or moisture – 8'-0" – 12'-0" in each direction

Waterproofing and Crack Prevention Membrane)

002 Install movement joints in ceramic tile under the following guidelines: a.) Interior – 20'-0" to 25'-0" in each direction.

c.) Where tilework abuts restraining surfaces All expansion, control, construction, cold and seismic joints in the structure should continue through the tilework, including such joints at vertical surfaces. Joints through structural joints must never be narrower

### 099000 - PAINTING AND COATING

than the structural joint.

001 All surfaces to be painted shall be prepped in accordance with the paint manufacturer's recommendations to full coverage. Prime all surfaces in accordance with the paint manufacturer's recommendations. All surfaces to

receive one primer coat and two finish coats. 002 Painting work includes applying a paint coating as scheduled on drawings to walls, doors, frames, trim, etc. Paint all surfaces. Products shall be high quality products as manufactured by Porter, Benjamin Moore, Glidden or Sherwin Williams. Colors shall be selected from color charts of manufacturer. 003 Paint shall be applied in separate coats. Sand between coats as required for smooth finish. Apply additional

topcoats if required to provide a smooth even finish or if required to provide complete coverage of substrates. 004 Apply paint in accordance with manufacturer's recommendations. Take care to avoid danger of fire. Remove oily or solvent coated rags daily. Mask adjoining surfaces, protect against areas from damage and touch up all paint as required.

005 Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks. 006 Use applicators and techniques suited for paint and substrate indicated. 007 Provide materials for use within each paint system that are compatible with one another and substrates

indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field 008 Interior doors/trim shall have one of the following finishes: Painted – primed once, with two-coat satin or

semi-gloss finish on all sides and faces. 009 Interior walls shall be primed once, with two-coat finish with eggshell finish unless noted otherwise. Use gloss, semi-gloss or satin finish for bathrooms, laundry and kitchens.

010 Interior ceilings paint sheen shall be flat unless noted otherwise.

011 All paints and coatings to be low VOC



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DESCRIPTION	DATE
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REVISION SET 2	3/20/2023
BID SET	3/21/2023

**SPECIFICATIONS** 

22-110

### DEMOLITION PLAN - LOWER LEVEL

D100 SCALE: 1/2" = 1'-0"

DEMO RCP - LOWER LEVEL

SCALE: 1/4" = 1'-0"

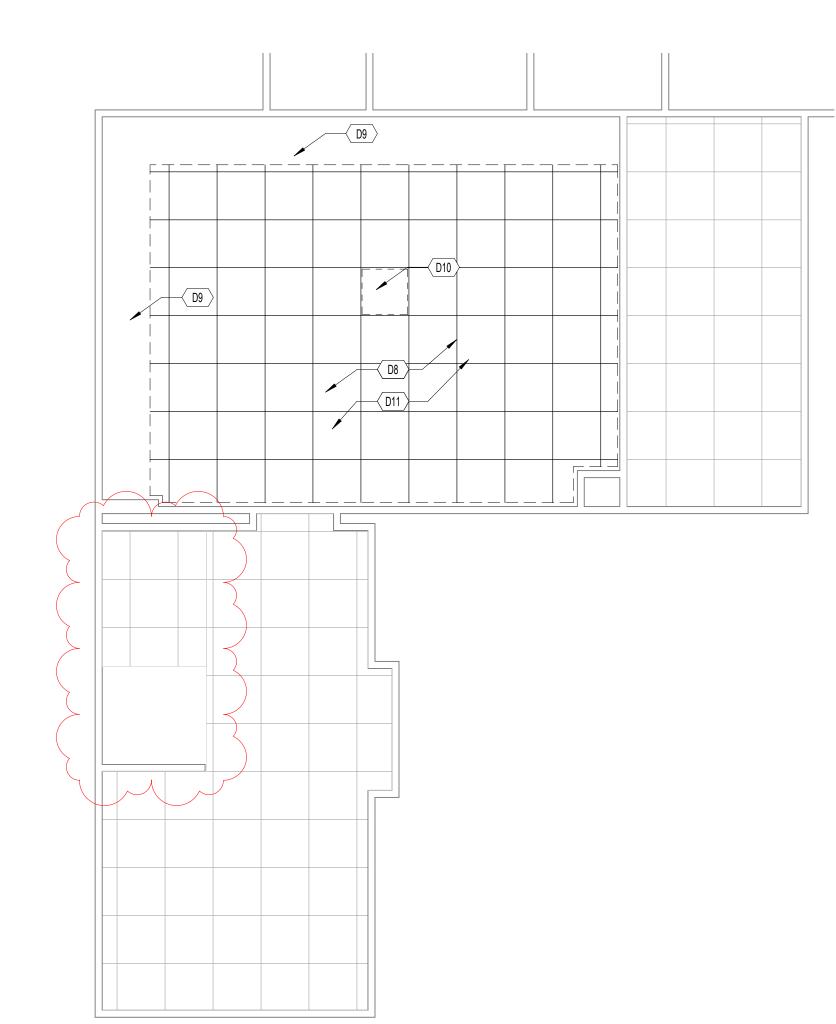
### **GENERAL DEMO NOTES**

- A. COORDINATE ITEMS FOR SALVAGE WITH
- PROPERTY MANAGER.

  B. REFER TO M/E/P DRAWINGS FOR ADDITIONAL
- DEMOLITION NOTES. C. OWNER WILL REMOVE ALL FURNITURE, INCLUDING ISLAND.

### DEMO PLAN CONSTRUCTION NOTES

- REMOVE EXISTING WOOD PANELING. PATCH AND REPAIR DRYWALL AS REQUIRED. DEMOLISH DOOR AND FRAME.
- OWNER TO REMOVE EXISTING FRIDGE. DEMOLISH EXISTING COUNTER. OWNER TO REMOVE EXISTING OVEN. OWNER TO RELOCATE VENDING MACHINES.
- DEMOLISH EXISTING MILLWORK AND SINK. DEMOLISH EXISTING ACOUSTICAL PANEL CEILING AND EXPOSE STRUCTURE. CLEAN UP WIRING, AND PAINT. PROVIDE ALT BID FOR
- NEW 2'X2' ACT CEILING. DEMOLISH EXISTING SOFFIT THROUGHOUT. DEMOLISH NON-FUNCTIONING EXHAUST
- DEMOLISH EXISTING LIGHTS THROUGHOUT.
- DEMOLISH EXISTING LVT FLOOR, WOOD BASE TRIM, AND RUBBER BASE THROUGHOUT. DEMOLISH TILE BACKSPLASH. PREP/ REPAIR WALL AS REQUIRED TO RECEIVE NEW TILE
- BACKSPLASH. EXISTING WOOD TRIM AROUND DOORWAYS TO REMAIN. PREP/ REPAIR AS REQUIRED TO RECEIVE PAINT.



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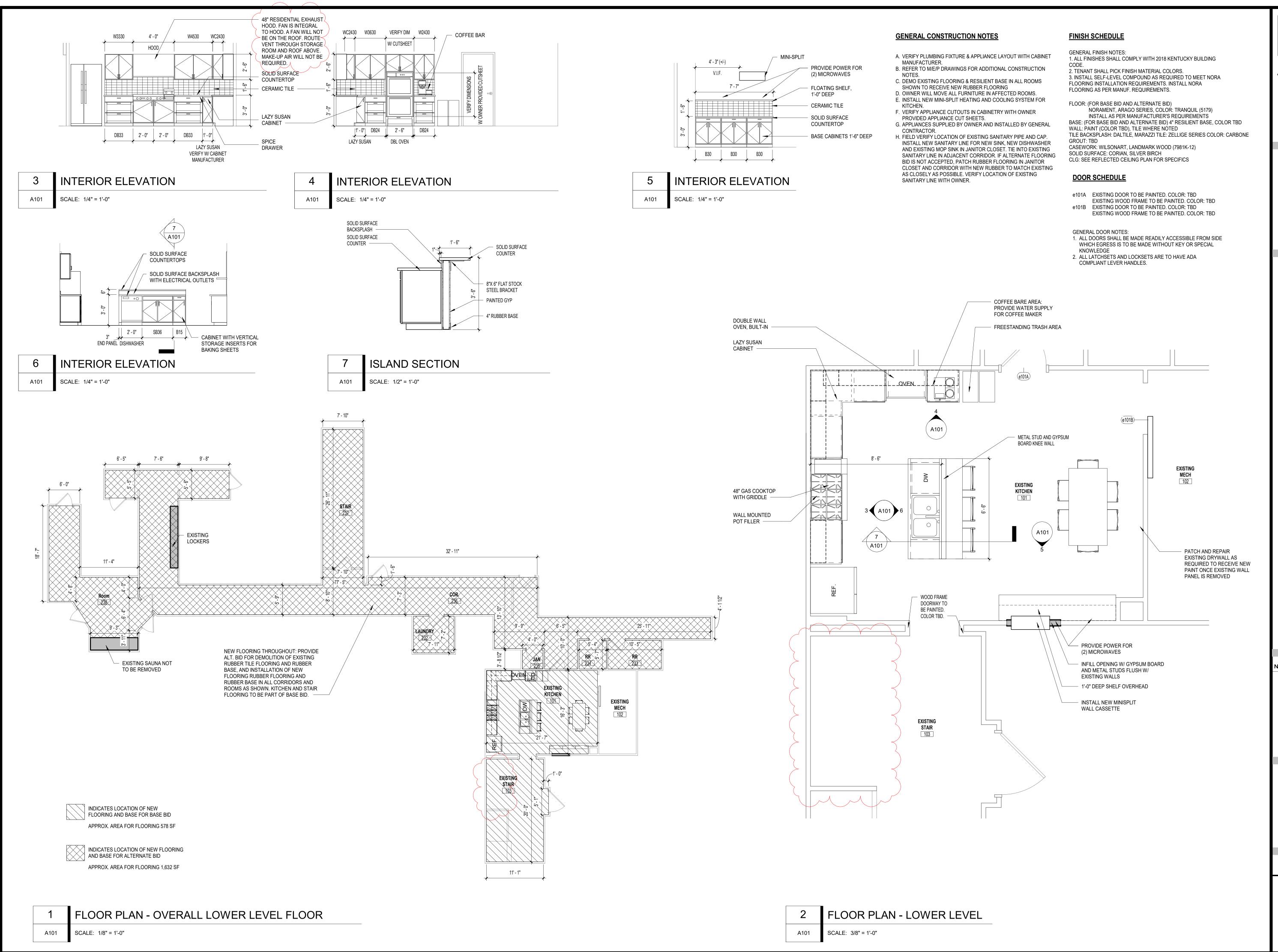
02/02/23 03/14/2023 **REVISION SET 1** 3/20/2023 **REVISION SET 2** BID SET 3/21/2023

DEMOLITION PLAN

22-110

**D100** 

MAGNETIC PLAN



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## OMMONWEALTH

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FIRST FLOOR PLAN

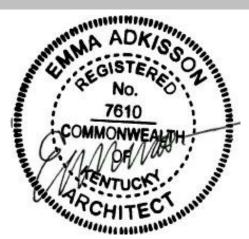
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A101

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A. PROVIDE ALL NEW LED LIGHT FIXTURES. SELECTIONS TO BE REVIEWED WITH AND APPROVED BY OWNER AND ARCHITECT. PC/ ARCHITECTURE

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# ALION - REDEPT.

2355 DIXIE HWY FORT MITCHELL, KY, 41017

NO. DESCRIPTION DATE

CD SET 02/02/23

REVISION SET 1 03/14/2023

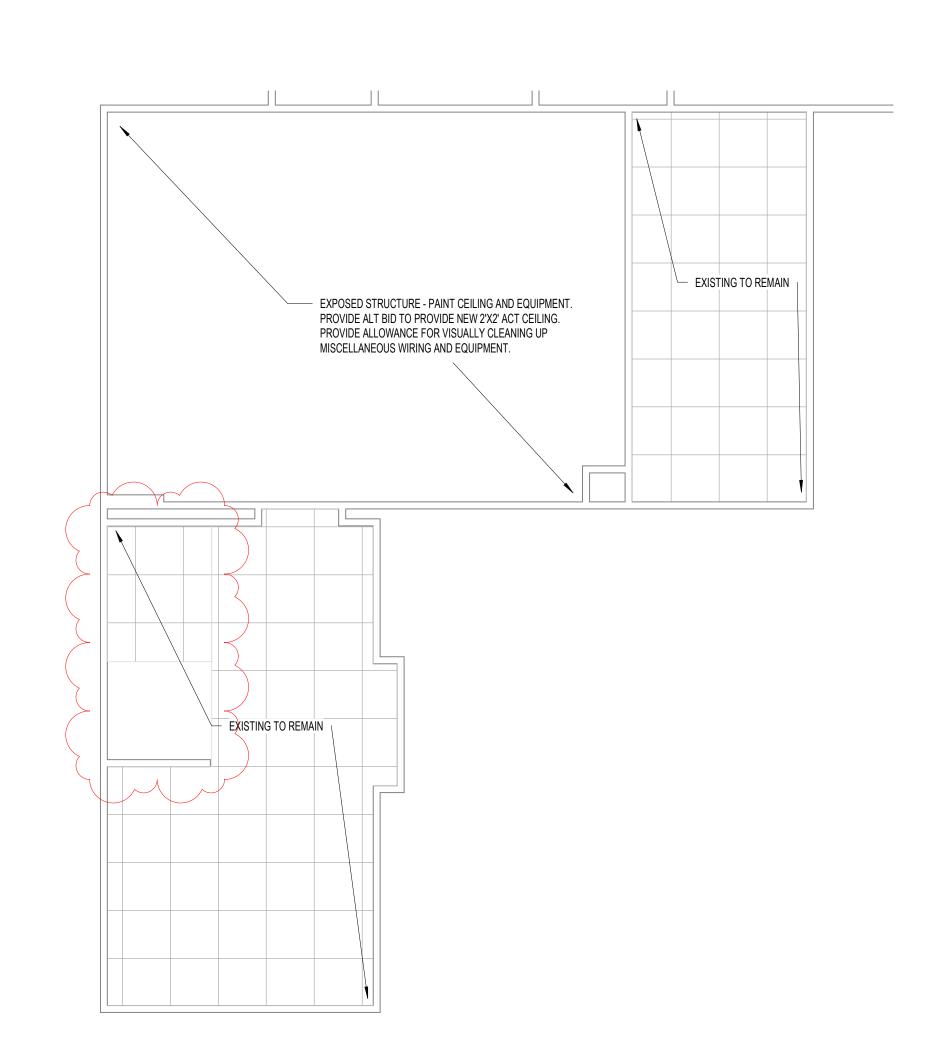
REVISION SET 2 3/20/2023

BID SET 3/21/2023

LOWER LEVEL RCP AND ENLARGED UPPER FLOOR PLAN

22-110

A401



1 REFLECTED CEILING PLAN - LOWER LEVEL

SCALE: 1/4" = 1'-0"

